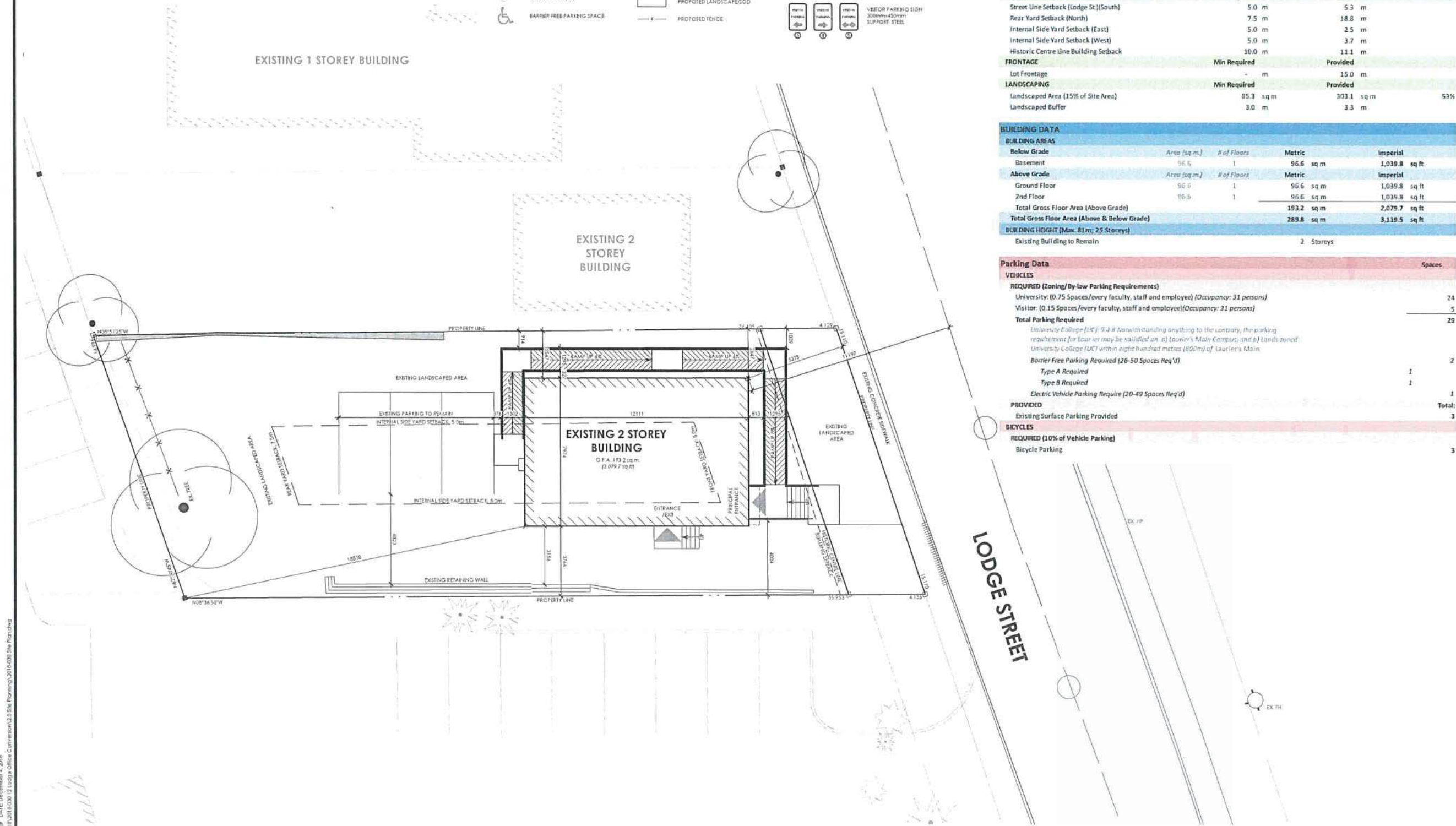


SITE PLAN NOTES

- LEGAL DESCRIPTION
- ALL ROADS & ALIENS SHALL HAVE 150mm CURBS UNLESS NOTED OTHERWISE.
- CURB RADIUS = 1.2m UNLESS OTHERWISE INDICATED
- STANDARD PARKING STALLS TO BE 2.8m x 5.5m
- BARRIER FREE PARKING STALLS TO MEET CITY OF WATERLOO REQUIREMENTS FOR TYPE 'A' (3.7m x 5.5m) AND TYPE 'B' (2.4m x 5.5m) INCLUDING ALL APPLICABLE ACCESS AIDS (1.5m WIDE)
- ALL OUTDOOR LIGHTING MUST BE FULL CUT-OFF AND HAVE NO GLARE
- TREE PROTECTION FENCING SHOULD BE ERECTED AROUND ALL EXISTING LANDSCAPED AREAS TO REMAIN AND SHOULD REMAIN ON SITE FOR THE DURATION OF THE CONSTRUCTION
- ALL ROOT-TOP EQUIPMENT TO BE SCREENED AND/OR LOCATED SO THAT IT CANNOT BE VIEWED FROM THE STREET
- SIGNAGE (BUILDING, Pylon & OTHERWISE) NOT APPROVED VIA THE SITE PLAN APPROVAL PROCESS
- THERE WILL BE NO OUTDOOR STORAGE OF ANY BEANS ON SITE
- ALL GARBAGE TO BE STORED INTERNALLY UNTIL PICKUP
- LIGHT FIXTURES & BOLLARDS ARE NOT TO OBSTRUCT PEDESTRIAN MOVEMENT
- EXCESS SNOW TO BE REMOVED FROM SITE

SITE LEGEND

	EXISTING LIGHT STANDARD		BIKE RACKS (#)		TRANSFORMER C/W CONCRETE PAD AND GROUNDING RODS
	EXISTING HYDRO POLE		EXISTING STANDARD IRON BAR		PARKING COURT BUBBLE
	EXISTING HYDRO POLE & GUYWIRE		FLUSH CURB (FC)		ACCESSIBLE PARKING SIGN Pd-93 (30x45) cm SUPPORT STEEL
	EXISTING SIGN		TACTILE WARNING STRIP INDICATOR (TWSI)		FIRE ROUTE SIGN 3-5 (30x45) cm SUPPORT STEEL OR WALL
	EXISTING CATCHBASIN		CONCRETE CURB		VISITOR PARKING SIGN 300mmx450mm SUPPORT STEEL
	EXISTING MANHOLE		PROPERTY LINE		
	ENTRANCE/EXIT		PROPOSED FIRE ROUTE		
	FIRE DEPARTMENT CONNECTION		PROPOSED CONCRETE		
	FIRE HYDRANT (FH)		PROPOSED LANDSCAPED SOD		
	BARRIER FREE PARKING SPACE		PROPOSED FENCE		



SITE DATA - 12 Lodge St., Waterloo Zone: University College (U)UC-81

DENSITY	Minimum	Maximum	Provided
Total Floor Space Ratio (FSR)	-	-	0.5
AREAS			
Net Site Area	0.06 ha	0.1 acre	-
Building Footprint at grade	569.0 sq m	6,124.4 sq ft	100%
Asphalt Area	96.6 sq m	1,039.8 sq ft	17%
Concrete Area	56.6 sq m	609.7 sq ft	10%
Total Impervious Area	322.5 sq m	3,471.2 sq ft	57%
Landscaped/Sodded Area	246.5 sq m	2,653.2 sq ft	43%
Total Permeable Area	246.5 sq m	2,653.2 sq ft	43%
SETBACKS			
Street Line Setback (Lodge St (South))	5.0 m	5.3 m	
Rear Yard Setback (North)	7.5 m	18.8 m	
Internal Side Yard Setback (East)	5.0 m	2.5 m	
Internal Side Yard Setback (West)	5.0 m	3.7 m	
Historic Centre Line Building Setback	10.0 m	11.1 m	
FRONTAGE			
Lot Frontage	- m	15.0 m	
LANDSCAPING			
Landscaped Area (15% of Site Area)	85.3 sq m	303.1 sq m	53%
Landscaped Buffer	3.0 m	3.3 m	

BUILDING DATA	Area (sq.m.)	# of Floors	Metric	Imperial
BUILDING AREAS				
Below Grade	96.6	1	96.6 sq m	1,039.8 sq ft
Above Grade	96.6	1	96.6 sq m	1,039.8 sq ft
Ground Floor	96.6	1	96.6 sq m	1,039.8 sq ft
2nd Floor	96.6	1	96.6 sq m	1,039.8 sq ft
Total Gross Floor Area (Above Grade)			193.2 sq m	2,079.7 sq ft
Total Gross Floor Area (Above & Below Grade)			289.8 sq m	3,119.5 sq ft
BUILDING HEIGHT (Max. 81m; 25 Storeys)				
Existing Building to Remain			2 Storeys	

Parking Data	Spaces
VEHICLES	
REQUIRED (Zoning/By-law Parking Requirements)	
University: (0.75 Spaces/ every faculty, staff and employee) (Occupancy: 31 persons)	24
Visitor: (0.15 Spaces/ every faculty, staff and employee) (Occupancy: 31 persons)	5
Total Parking Required	29
University College (UC) 9-4-8 Notwithstanding anything to the contrary, the parking requirement for law lot may be satisfied on: a) Laurier's Main Campus; and b) Lands zoned University College (UC) within eight hundred metres (800m) of Laurier's Main	
Barrier Free Parking Required (26-50 Spaces Req'd)	2
Type A Required	1
Type B Required	1
Electric Vehicle Parking Require (20-49 Spaces Req'd)	1
PROVIDED	Total: 3
Existing Surface Parking Provided	3
BICYCLES	
REQUIRED (10% of Vehicle Parking)	
Bicycle Parking	3

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THE CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
DRAWINGS ARE NOT TO BE SCALED.



NO.	REVISIONS	DATE
01	ISSUED TO CITY FOR REVIEW	2018/09/20

BUILDING PERMIT APPLICATION	DATE
	2018,12,11

CHRONOLOGY	DATE



CLIENT

PROJECT NAME
OFFICE CONVERSION
12 LODGE ST.
WATERLOO, ON

DRAWING TITLE
SITE PLAN

SCALE: 1:100
SHEET NO: 410-914
PROJECT NUMBER: 2018-030
DRAWING NUMBER: SPA.01