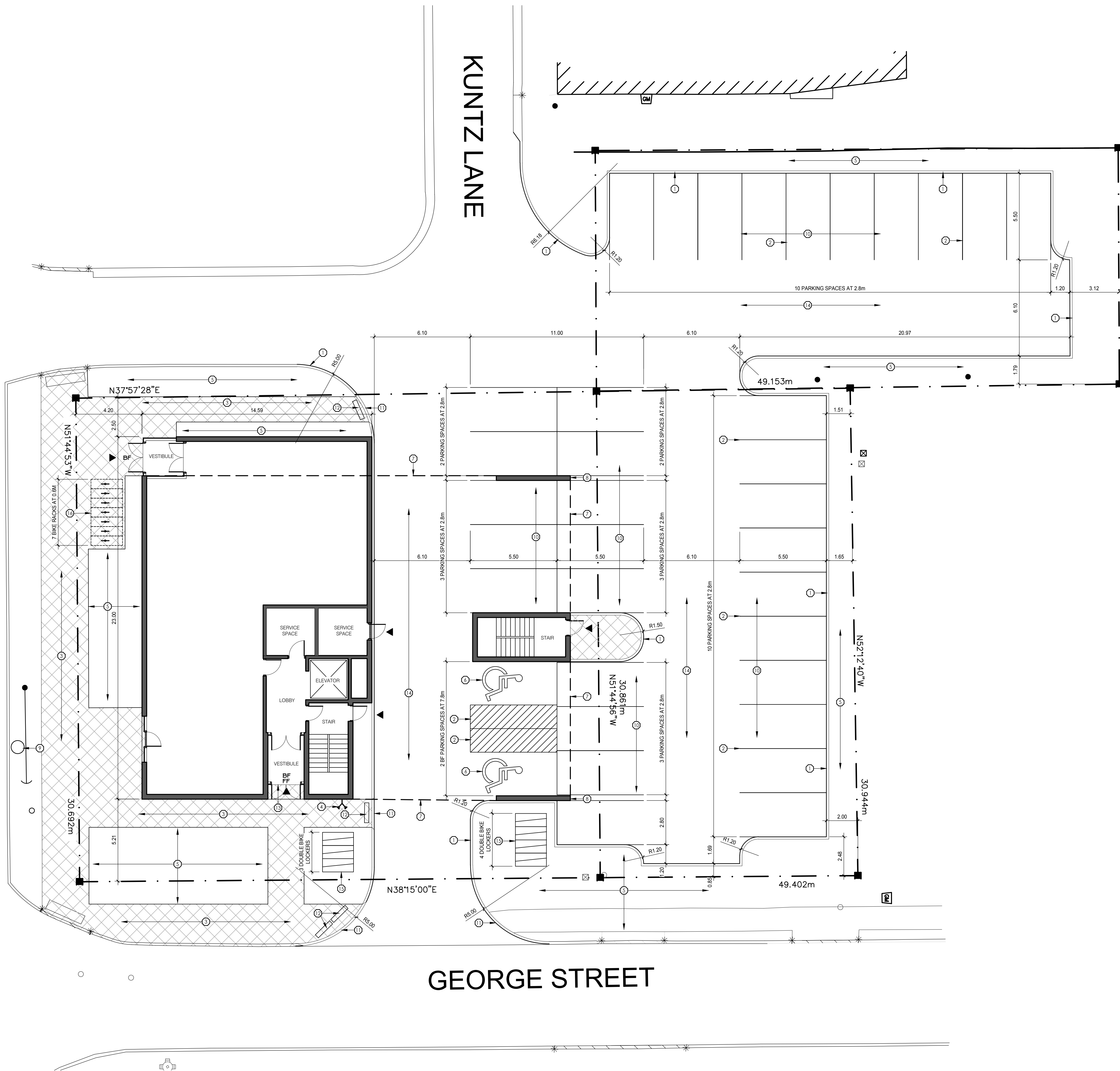


KING STREET S.



SITE LEGEND:

- PROPERTY LINE
- ▼ BUILDING EXIT
- BF DENOTES BARRIER FREE
- FF DENOTES FIRE FIGHTER PRINCIPAL ENTRANCE
- ♿ BARRIER FREE PARKING
- FDC NEW FIRE DEPARTMENT CONNECTION
- EX FH EXISTING FIRE HYDRANT
- EX HP EXISTING HYDRO POLE
- ▨ CONCRETE SIDEWALK

DETAILS OF DEVELOPMENT:

168 KING STREET SOUTH

| DATA | PROVIDED |
|-----------------------------------|--|
| GROSS LOT AREA (m ²) | 2,020.00 |
| LOT FRONTAGE (m) | 30.69 |
| BUILDING AREA (m ²) | 595.00 |
| BUILDING COVERAGE (%) | 595 m ² / 2,020.00 m ² = 29.4% |
| NUMBER OF STOREYS | 9 |
| BUILDING HEIGHT (m) | 31.5 m |
| TOTAL GFA PROPOSED | 3,929.00 |
| LANDSCAPE AREA (MIN. 20%) | 372.3m ² (18.4%) |
| COMMERCIAL AREA (m ²) | 234.00 |
| AMENITY AREA (m ²) | |
| INDOOR | ROOF TOP 119.0 |
| OUTDOOR | ROOF TOP PATIO 81.7 |
| | SUITE BALCONIES (6.0 EACH x 42) 252.0 |
| | TOTAL 452.7 |

GFA/UNIT COUNT:

| LEVEL | GFA m ² | UNITS |
|-----------------------------|--------------------|-------|
| GROUND FLOOR | 345.0 | 0 |
| FLOOR 2 | 495.0 | 6 |
| FLOOR 3 | 495.0 | 6 |
| FLOOR 4 | 495.0 | 6 |
| FLOOR 5 | 495.0 | 6 |
| FLOOR 6 | 495.0 | 6 |
| FLOOR 7 | 495.0 | 6 |
| FLOOR 8 | 495.0 | 6 |
| FLOOR 9 | 119.0 | 0 |
| Total GFA (Excl. Balconies) | 3,929 | 42 |

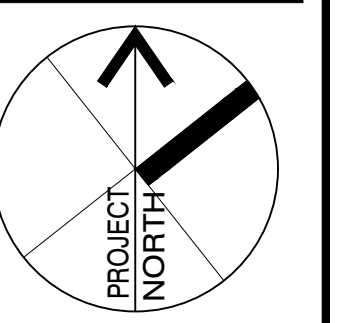
- SITE PLAN NOTES:**
- ① CONCRETE CURB
 - ② PAINTED LINE MARKINGS AND GRAPHICS
 - ③ CONCRETE SIDEWALK
 - ④ FIRE DEPARTMENT CONNECTION
 - ⑤ PLANTING STRIP
 - ⑥ BARRIER FREE PARKING SIGNAGE
 - ⑦ DASHED LINE OF BUILDING OVERHANG ABOVE
 - ⑧ BUILDING STRUCTURE
 - ⑨ EXISTING HYDRO POLE AND ANCHOR
 - ⑩ NEW ASPHALT PARKING LOT
 - ⑪ DROPPED CURB IN THIS LOCATION
 - ⑫ DROP CURB TACTILE INDICATOR
 - ⑬ BUILDING ENTRANCE/EXIT - FIRE FIGHTER ENTRANCE ANNUNCIATOR PANEL IS IN VESTIBULE
 - ⑭ HEAVY DUTY ASPHALT IN THIS LOCATION
 - ⑮ DOUBLE BIKE LOCKER
 - ⑯ DOUBLE BIKE RACK 0.6m x 2.0m

1 XX/08/18 ISSUED FOR RE-ZONING APPLICATION
 N# DATE ISSUE

MARTIN SIMMONS
 ARCHITECTS

113 BREITHAUPST STREET, SUITE 200
 KITCHENER, ONTARIO. N2H 5G9
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PROJECT
YNCU YOUR NEIGHBOURHOOD
 168 KING STREET SOUTH, WATERLOO

DRAWING
SITE PLAN

DRAWN BY AV CHECKED BY JM
 DATE AUGUST 13, 2018
 SCALE 1:125 DRAWING N#
 PROJECT N# **A101**
 1905-1