



STAFF REPORT Planning Approvals

Title: Zone Change Application Z-17-10, Hospice of Waterloo Region, 2050 University Avenue East

Report Number: IPPW2017-054

Author: Joel Cotter

Meeting Type: Council Meeting

Council/Committee Date: October 23, 2017

File: Z-17-10

Attachments: Appendix 'A' – Agency Comments
Appendix 'B' – Minutes of Informal Public Meeting
Appendix 'C' – Concept Site Plan
Appendix 'D' – Proposed Employment One (E1) Zone

Ward No.: Northeast - Ward 4

Recommendations:

1. That IPPW2017-054 be approved.
2. That Council approve Zone Change Application Z-17-10, submitted by Hospice of Waterloo Region, for the lands municipally known as 2050 University Avenue East, in accordance with Section 6 of IPPW2017-054.

A. Executive Summary

Hospice of Waterloo Region ("HWR") has applied to rezone 2050 University Avenue East from Agriculture (A) to a new Employment One (E1) zone that implements the 'Business Employment' designation of the City's Official Plan.

HWR intends to construct a one-storey building at 2050 University Avenue East, conceptually shown in Appendix 'C'. The proposed building will contain office and administrative space, and a medical clinic including associated educational and counselling services, and ~10 palliative care beds. The proposed building is ~2,185 square metres (~23,520 square feet) in size. In order to permit the proposed development, HWR submitted Zone Change Application Z-17-10.

The large property can accommodate additional development. HWR has no immediate plans for the balance of the property. The conceptual site plan identifies a 1,225 square metre pad for a

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future (second) building and parking expansion area, illustrating how additional development could occur.

Planning Approvals supports Z-17-10 in accordance with Section 6 of IPPW2017-054 for the reasons outline in Section 5.

B. Financial Implications

Staff is not aware of any municipal financial implications with respect to Z-17-10. Should the application be appealed, potential costs related to an Ontario Municipal Board hearing may be incurred.

C. Technology Implications

None

D. Legal Considerations

A five metre (5m) wide right-of-way provides access to the subject lands from University Avenue East. The right-of-way is located on lands owned by the City of Waterloo. The right-of-way will need to be widened and realigned to provide sufficient motor vehicle access to the proposed development.

E. Link to Strategic Plan

(Strategic Priorities: Multi-modal Transportation, Infrastructure Renewal, Strong Community, Environmental Leadership, Corporate Excellence, Economic Development)

Strategic Priorities: Strong Community, Economic Development

F. Previous Reports on this Topic

None

G. Approvals

Name	Signature	Date
Author: Joel Cotter ¹		
Director: Joel Cotter		
Commissioner: Cameron Rapp		
Finance: N/A		

CAO

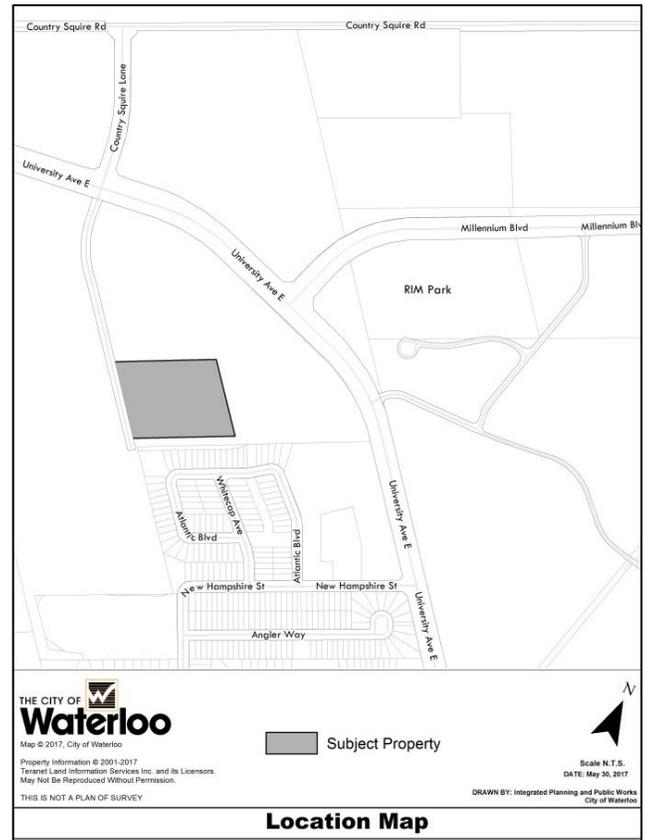
¹ With appreciation and recognition to Ms. Natalie Stopar who advanced Zone Change Application Z-17-10 through the application process and prepared the first draft of this report.



Zone Change Application Z-17-10, Hospice of Waterloo Region, 2050 University Avenue East IPPW2017-054

SECTION 1 • SUBJECT LANDS

Location	2050 University Avenue East
Ward	Ward 4: Northeast
Lot Size	2.02 hectares
Applicant	Hospice of Waterloo Region (HWR)
Existing	Vacant Farm Land The property contained a house and barn which were demolished in 2016.
Proposed	One-storey building (2,185 sq.m.): <ul style="list-style-type: none"> • office and administrative space • medical clinic (includes ~10 palliative care beds) The property can accommodate additional development, subject to zoning compliance and site plan control.



Public Input Public and agency comments received to date have been considered during the preparation of this report.

SECTION 2 • PROPOSED USES

Hospice of Waterloo Region (HWR) is a charitable organization that provides palliative care and bereavement support to individuals and their families who are affected by a life threatening illness.

HWR recently purchased 2050 University Avenue East to construct a new ~2,185 square metre building. The primary uses are office and medical clinic. "*Office*" includes uses such as administration and volunteer services. "*Medical Clinic*" includes uses such as counselling services, palliative care services, and palliative care beds that will provide comfort to clients nearing the end of their life.

2050 University Avenue East is a large property that can accommodate additional development. HWR has no immediate plans for the balance of the property. The conceptual site plan identifies a 1,225 square metre pad for a future (second) building and parking expansion area, illustrating how additional development could occur. Future development on the property must comply with zoning and is subject to site plan control.

SECTION 3 • PLANNING FRAMEWORK AND POLICY EVALUATION

3.1 Context

- North: City lands (currently occupied by sports fields and a municipal trail)
- South: residential neighbourhood, separated by an intermitted creek on City lands
- East: City lands (stormwater management facility and a municipal trail)
- West: City lands (currently occupied by sports fields)



3.2 Provincial and Regional Policies

In staff's opinion:

- the application is consistent with the Provincial Policy Statement (2014)
- the application conforms to the Growth Plan for the Greater Golden Horseshoe (2017)
- the application conforms to the Regional Official Plan (ROP)

Region of Waterloo staff have reviewed Z-17-10 and have no concerns.

3.3 City of Waterloo Official Plan

The Official Plan designates the lands:

- Employment – Schedule 'A'
- Business Employment – Schedule 'A2'
- Minor Corridor – Schedule B
- Medium Density Employment 27 Metres – Schedule B1
- Designated Greenfield Area – Schedule B3

The "Business Employment" designation is intended to serve as a buffer between traditional industrial uses and sensitive uses (e.g. residential). It caters to the needs of technical and or scientific businesses, advanced industrial technologies, prestige office, and a restricted range of service uses. Policy 10.3.3.2.(3) contemplates uses including "offices" and "medical clinics". The uses proposed by HWR at 2050 University Avenue East conform to Policy 10.3.3.2.(3) of the Official Plan, in staff's opinion.

Policy 10.3.3.2.(4) contemplates ancillary uses to a maximum 15% of the gross building floor area, to a maximum 1,393 square metres in size. Ancillary uses are outlined in Appendix 'D' hereto, and further scoped in Section 6 of IPPW2017-054.

Policy 10.3.3.2.(7) prohibits "residential uses" on lands designated Business Employment. In staff's opinion, the palliative care beds are not residential uses. The palliative care rooms:

- are associated with the medical clinic
- the rooms will not contain cooking facilities
- average stay of less than 30 days.

Policies 10.3.3.2.(8) and (9) provides urban design direction to new development, including:

- visually attractive and interesting buildings and sites, creating a sense of place
- building designs that are architecturally interesting
- high quality, durable materials
- high quality landscaping treatments that substantially "green" the site
- environmentally-friendly site designs
- strong connections to adjacent public transit facilities

The development is subject to site plan control, the mechanism to implement the urban design objectives established in Policies 10.3.3.2.(8) and (9) along with other site / building design considerations, including lighting.

In Planning Approvals opinion, as set out in Section 6 of IPPW2017-054, application Z-17-10 conforms to the City's Official Plan.

3.4 City of Waterloo District Plan

The subject lands are designated "Potential Community Park" in the Eastbridge District Plan. The District Plan should be amended to 'Industrial' and 'Special Policy Area 4 (SPA 4)'. SPA 4 restricts uses on the property to light industrial uses.

SECTION 4 • APPLICATION Z-17-10

4.1 Application

To rezone 2050 University Avenue East from Agriculture (A) to a new Employment One (E1) zone that implements the Business Employment designation of the Official Plan. The new 'E1' zone would form Section 38 of Zoning By-law No. 1418. The proposed 'E1' zone is attached as Appendix 'D'.

4.2 Permitted Uses

The Employment One (E1) zone category attached as Appendix 'D' implements the Business Employment designation in the Official Plan. Having regard to the nature of the proposed development by HWR and the context of the subject lands in proximity to the Atlantic Boulevard residences, site specific regulations are recommended as described in Section 6. The recommend site specific regulations include a restricted range of permitted uses, being:

Primary Uses

- Business Incubator
- Communication Production
- Government Use
- Medical Clinic
- Office
- Tech Office
- Training Facility

Complementary Uses

- Makerspace (Class A)

Ancillary Uses

- Café
- Commercial Recreation
- Commercial Wellness
- Municipal Recreation Facility

The recommended uses (above) are compatible with residential homes, will allow for the proposed HWR development (re: office, medical clinic), and provide flexibility for HWR to develop the balance of their property and/or establish ancillary uses within their building to primarily serve employees, clients, and visitors (e.g. café).

Primary uses include office and medical clinic. "Office" means *a building or part of thereof used for conducting the affairs of a business, professions, service, industry, or government and where clerical duties are performed*. "Medical Clinic" is not defined in By-law No. 1418 – the recommended definition is: *office of one or more health practitioners that is primarily devoted to the care of outpatients, and includes services such as counselling and educational services associated with the Medical Clinic, as well as outpatient care facilities*.

The proposed HWR facility with offices, administrative services, and medical clinic (including where clients receive palliative care) meets the intent of the Official Plan, in staff's opinion. Spiritual sanctuaries and similar spaces are considered amenity areas to the primary uses.

4.3 Building Setbacks

Proposed Setbacks

The following standard setbacks are recommended for the Employment One (E1) zone:

- Front Yard 5 metres
- Flankage Yard 5 metres
- Side Yard 3 metres
- Rear Yard 5 metres
- Low Rise Residential Area Yard ½ height of the building, minimum 7.5 metres

Site Specific Setback – South Lot Line

Through the public consultation process, some local residents expressed concern regarding the proximity of the new HWR building to homes on Atlantic Boulevard. From the rear lot line of the residential properties, the intermittent creek and trail lands provide a 20 metre wide buffer to the HWR lands. The conceptual building is setback a further 15 metres from the south lot line, resulting in a combined 35 metre (115 foot) separation to the proposed HWR building.

The intermittent creek to the south is regulated by the Grand River Conservation Authority (GRCA). The ecological function of the watercourse should be enhanced through appropriate naturalized buffering. The creek meanders, with ~5 metres separating the channel from the HWR lands (based on available information). To effectively buffer the intermittent creek from development, a 15 metre setback is recommended from the top of channel bank. Therefore, a minimum 10 metre side yard setback is recommended from the south lot line to the HWR building, resulting in: (i.) minimum 15 metres between the creek channel and the HWR building; and (ii.) minimum 30 metres (98 feet) between the HWR building and the Atlantic Boulevard properties. Naturalization of the watercourse block coupled with landscaping within the 10 metre side yard will provide screening for the Atlantic Boulevard homes.

Any site alterations and impervious surfaces within the 10 metre setback will be evaluated through the site plan process. A scoped environmental impact analysis will be required to ensure the watercourse is maintained, enhanced and buffered in accordance with principles of good environmental planning. Much of the 10 metre setback is also regulated by the GRCA.

HWR has requested relief from the 10 metre setback for a freestanding trellis or pergola (transfer canopy) to provide cover for family and patient drop off to the palliative care area. Planning staff have no objection to exempting accessory structures from the 10 metre side yard setback, knowing that the location of the accessory structure on the lot can be managed through site plan control and evaluated through the scoped environmental impact analysis.

4.4 Frontage on a Public Street

A site specific regulation is required to provide relief from Section 8.8 of By-law No. 1418 which requires every lot to abut a public street. The site specific regulation would deem the right-of-way a "public street" for the purposes of zoning, as described in Section 6.

4.5 Building Height

HWR has requested a maximum building height of 27 metres in accordance with Schedule B1 of the Official Plan. Notwithstanding Schedule B1, Policy 3.4.(3) of the Official Plan permits the implementing zoning by-law to restrict the maximum building height based on considerations that are unique to individual sites.

Some residents have expressed concerns regarding building height. A maximum height of 27 metres would equate to approximately 8 storeys. The proposed HWR building is 9 metres in height (inclusive of rooftop mechanical), generally consistent with the residential lots on Atlantic Boulevard which are zoned Flexible Residential (FR) with a maximum building height of 9.5 metres.

In order to provide design flexibility for the HWR building, and having regard to the 30 metre separation discussed in Section 4.3, staff recommend a maximum building height of 12 metres (exclusive of rooftop mechanical) for that portion of the property containing the HWR building (within 75 metres of the south lot line). The balance of the property would be zoned to permit a maximum building height of 27 metres pursuant to the Official Plan.

4.6 Parking Rates and Transportation Impacts

HWR is requesting a minimum parking rate of 3 parking spaces for every 100 square metres of building floor area. The City's standard parking rate for office development is 3 parking spaces for every 100 square metres of building floor area. The proposed parking rate would require 66 parking spaces for a 2,185 square metre building. The concept plan identifies 80 parking spaces. Planning staff support a minimum parking rate of 3 spaces for every 100 square metres of building floor area, with the exception of a café (re: Section 6, 2.c.ii., Ancillary Commercial use) where a slightly higher parking rate of 4 spaces for every 100 square metres of building floor area is recommended.

A transportation assessment was prepared in support of the application. It concluded that the existing road network is sufficient to accommodate the HWR development. The transportation assessment estimates 50 trips from the HWR building in each of the weekday morning and afternoon peak hours (less than one per minute).

4.7 Lane

A right-of-way provides legal access to the HWR lands from University Avenue East. The right-of-way is located on City lands. HWR currently use the gravel lane for the RIM Park Sports Fields to access its property. The lane does not meet minimum standards for emergency response, and will need to be widened. The lane should be hard surfaced for year-round maintenance. The location of the right-of-way will need to be realigned to match the upgraded lane.

A preliminary review of the lane suggests that the lane should be paved, rolled curbs added, and parking on one-side. The existing treed medium would need to be removed to create a 6 metre wide emergency vehicle route – the trees are in fair to poor condition, and the City Forester recommends that only two tulip trees be retained and relocated. A 2:1 replacement is typical for trees that are removed.

A cost sharing agreement between HWR and the City of Waterloo is required for the lane improvements. The lane improvements can be secured through Section 41 of the Planning Act (Site Plan Control).

4.8 Intermittent Creek - GRCA

Immediately south of 2050 University Avenue East is an intermittent creek which carries water from the Millen Woodlot to the Grand River. The watercourse is regulated by the Grand River Conservation Authority (GRCA). Any works and development within 15 metres of the watercourse will require a permit from the GRCA.

In principle, the GRCA has no objections to Zone Change Application Z-17-10.

Site alteration, the extension of sanitary and water services across the intermittent creek from the Atlantic Link to the HWR lands, impervious surfaces, and structures within GRCA regulated areas are subject to Ontario Regulation 150/06. In order to obtain site plan approval, a GRCA clearance letter is required. The GRCA will require a scoped environmental impact analysis, detailed engineering plans (grading and servicing), erosion and sediment control plans, and a stormwater management report to evaluate the site plan submission.

4.9 Noise

In support of the application, HWR completed a Noise Feasibility Study. Noise levels were determined to be within acceptable ranges. No noise mitigation measures are required.

SECTION 5 • CONCLUSIONS

Planning Approvals supports Zone Change Application Z-17-10 for the following reasons:

- the application is consistent with the Provincial Policy Statement (2014)
- the application conforms to the Growth Plan (2017) and the Regional Official Plan
- the application conforms to the City's Official Plan
- the application advances a land-use that is suitable for the lands
- the application will allow for a land-use (hospice) not currently available in the city
- the proposed zoning is appropriate and will allow for orderly development
- the application directs growth to designated urban lands

SECTION 6 • RECOMMENDATIONS

1. That IPPW2017-054 be approved.
2. That Council approve Zone Change Application Z-17-10, Hospice of Waterloo Region, for 2050 University Avenue East (the "LANDS") as follows:
 - A. That By-law No. 1418 is hereby amended by adding the following zone category to the end of Section 3: "E1" Employment One.
 - B. That By-law No. 1418 is hereby amended by adding Section 38 ("E1" Employment One), as contained in Appendix 'D' to report IPPW2017-054.
 - C. That By-law No. 1418 is hereby amended by changing the zoning citation for the LANDS as shown on the Zoning Map attached to By-law No. 1418 as Appendix 'A', from Agriculture (A) to Employment One (E1) provided further that:
 - i.) Notwithstanding anything to the contrary, primary and complementary uses on the LANDS shall be restricted to:
 - Primary Uses
 - Business Incubator
 - Communication Production
 - Government Use
 - Medical Clinic
 - Office
 - Tech Office
 - Training Facility
 - Complementary Uses
 - Makerspace (Class A)
 - ii.) Notwithstanding anything to the contrary, ancillary uses on the LANDS shall be restricted to:
 - Cafe
 - Commercial Recreation
 - Commercial Wellness
 - Municipal Recreation Facility
 - iii.) Notwithstanding anything to the contrary, relative to the LANDS, a "Medical Clinic" means an office of one or more health practitioners that is primarily devoted to the care of outpatients, and includes services such as counselling

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and educational services associated with the Medical Clinic, as well as outpatient care facilities.

- iv.) Notwithstanding anything to the contrary and for clarity, "outpatient care facilities" in 2.c.iii.) includes outpatient palliative care beds.
- v.) Notwithstanding anything to the contrary and for clarity, a "hospice" shall be permitted under the collective uses "office" and "medical clinic". For the purposes of the proceeding, a "hospice" is an outpatient health care facility providing palliative care and improving the quality of life for persons living with or dying from advanced illness or are bereaved.
- vi.) Notwithstanding anything to the contrary, the maximum building height (excluding rooftop mechanical) shall be 12 metres for that portion of the LANDS within 75 metres of the south lot line.
- vii.) Notwithstanding anything to the contrary, no building shall be permitted within 10 metres of the south lot line of the LANDS.
- viii.) Notwithstanding anything to the contrary, Section 2.c.vii.) shall not apply to accessory structures.
- ix.) Notwithstanding anything to the contrary, the "right-of-way" abutting the west lot line of the LANDS shall be deemed to be a Street for the purposes of zoning, including but not restricted to compliance with Section 8.8 of By-law No. 1418.
- x.) Notwithstanding anything to the contrary, a minimum of 4 parking spaces for every 100 square metres of Building Floor Area shall be required for a café.
- xi.) Notwithstanding anything to the contrary, the Floor Area Ratio requirement in Section 38 shall not apply to the LANDS.
- xii.) Notwithstanding anything to the contrary, the following regulation shall not apply to the LANDS: *"Ancillary uses specified in section 38.1.3 shall abut a streetline building façade"*.
- xiii.) Notwithstanding anything to the contrary, outdoor storage shall be prohibited.
- xiv.) Notwithstanding anything to the contrary, drive-through facilities shall be prohibited.

3. That By-law No. 84-022 shall be repealed.

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4. That the Eastbridge District Plan is hereby amended by changing the land-use designation applied to the LANDS from "Potential Community Park" to "Industrial" and "Special Policy Area 4 (SPA 4)"
5. Prior to site plan approval, that Hospice of Waterloo Region enter into an agreement with The Corporation of the City of Waterloo regarding the location, design, construction, maintenance, and right-of-way obligations of the realigned and widened driveway that provides access to the LANDS from University Avenue East.

Submitted by:

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APPENDIX 'A'

Agency Comments

Engineering Services

No concerns to the rezoning. The following comments should be considered with respect to development of the lands:

- The applicant is planning to connect to the sanitary and water systems on Atlantic Blvd. through Park Block 211 (Atlantic Link). This work shall be undertaken to minimize disruption to the park, and the park shall be restored to the satisfaction of the City of Waterloo. The community should be made aware of the possible 'closure' of the park while servicing work is being undertaken.
- Pedestrian connectivity is important, and will need to be assessed as part of the site plan process. It is noted that the applicant is proposing to connect to the Walter Bean Trail. Further details regarding the grading, material and extent of works will need to be reviewed and accepted as part of the site plan application, including confirmation of funding for trail connection works. Signage may be required for the trail. Consideration should be given to a more durable surface such as asphalt. Currently this trail is not winter maintained so usage is seasonal. The trail is not lit.
- Lighting for the entrance driveway may be required – to be determined.
- A complete set of landscape plans will be required through the site plan process including a Vegetation Management Plan and a Naturalization Plan for the creek buffer zone. Efforts should be made to preserve existing trees on site that are in good health, as determined by the City Forester.
- Grading on the east property line will be evaluated during the site plan review process to determine if a retaining wall is required. The applicant has suggested some grading may be requested on City lands (re: stormwater management facility lands) to the east – the City will evaluate the request as part of the site plan process.

Growth Management

Land Uses

The subject lands are designated Employment on Schedule 'A' and Business Employment on Schedule 'A2' of the Official Plan. The property is located within a minor corridor on Schedule 'B'. Schedule 'B1' designates the lands as medium density employment (maximum height of 27 metres).

Commercial, institutional and residential land uses are not contemplated on lands designated Employment. The Business Employment designation envisions non-industrial employment uses, such as offices, medical clinics and training facilities, as the predominant use of land. The designation also contemplates a restricted range of ancillary uses, including child care centres and community uses. Ancillary uses are limited in terms of their location, orientation and floor area. Residential uses are prohibited on lands designated Business Employment.

The proposed development is described as consisting of approximately 50% office, clinic and programming space and 50% palliative care space. Office and medical clinic uses are consistent with the types of uses contemplated for Business Employment, and therefore conform to the Official Plan. Staff is of the opinion that programming activities directly associated with the medical clinic, such as planning, counseling and educational services, may be considered medical clinic uses. If community uses are proposed as part of the application, they will need to conform to the policies for ancillary uses as identified in 10.3.2.2(6) of the Official Plan.

The palliative care space is proposed to contain 10 hospice beds. The average stay in these facilities is estimated to be 30 days. Because the hospice beds are directly associated with a medical clinic and are part of the clinic's support services, the palliative care beds may be considered distinct from a residential use, which is prohibited on employment lands under policy 10.3.2.2(7).

Site and Urban Design

The Official Plan requires a higher standard of urban design for lands designated as Business Employment compared to other Employment designations (10.3.2.2(9)). Recognizing that the design concept for the proposed development will be further refined through the site plan process, consideration should be given to the general site and urban design policies for Employment lands outlined in 10.3.1(14) and the specific site design policies for Business Employment lands in 10.3.2.2(8), 10.3.2.2(9), and 10.3.2.2(10). These policies encourage a high quality urban design, and where appropriate, compact development and efficient use of space (10.3.1(14g)).

The proposed development is a single storey structure with possible expansion areas identified for a second building and additional parking. Given that the subject lands are designated for medium density, with a permitted height of up to 27 metres, the applicant should explore opportunities for a more compact built form that can accommodate future growth within the building footprint, while still accommodating the needs of the hospice and ensuring compatibility with residential lands to the south. Design of a more compact building footprint would further assist in the achievement of a full 15 metre, no-touch buffer from the watercourse to the south of the site, which is addressed more specifically in the section titled *Supporting "B" Natural Feature*.

Land use compatibility

Sensitive land uses are defined in the Official Plan as including uses that “may be adversely impacted by noise from transportation sources including: residential uses, seasonal residential developments, hospitals, nursing/retirement homes, schools and daycare centres.” Growth Management staff considers the proposed hospice use to be a sensitive use.

Policy 10.3.1(10) of the Official Plan requires that encroachment of sensitive land uses toward designated employment areas be prevented or minimized. Policies 10.3.1(8) and 10.3.1(9) further require decisions regarding development on lands designated Employment to consider land use compatibility and measures to mitigate impacts to the extent possible. Lands specifically designated Business Employment are recognized in the Plan as being generally located at the periphery of Employment areas and are envisioned to serve as a buffer between traditional industrial uses and sensitive uses (10.3.2.2).

Lands adjacent to the subject lands are City-owned Employment lands that are currently used as recreational playing fields and therefore mitigation approaches and buffering of the proposed sensitive use from surrounding uses may be unnecessary. However, Planning Approvals staff will need to consider the impact of the proposed sensitive use on future development of the Employment area, particularly with respect to the constraints that the hospice use may place on the range of future employment uses, and the need for site design considerations on adjacent employment lands to buffer incompatible activities from the hospice. Recognizing that sensitive uses are not contemplated for Business Employment areas, the proposed development should consider site designs that create opportunities to address possible future needs for buffering, including building placement, massing, yard setbacks, landscaping, berming, fencing or screening.

Transportation and Parking

Development on lands designated as Employment is encouraged to provide adequate off-street parking while minimizing large expanses of surface parking (10.3.1(14b)).

Development on Business Employment lands is further encouraged to be oriented to surrounding major transportation corridors, with strong connections to adjacent public transit facilities (10.3.2.2(8c))

The development proposes a rate of surface parking that exceeds 3 parking spaces per 100 square metres of building floor area, and identifies future parking expansion areas that could double the proposed parking. Consideration should be given to exploring opportunities to reduce the total surface parking and to connect the site to the existing trails system for better access and connection to public transit along University Avenue East.

Sustainable Design

The incorporation of sustainable design elements is strongly encouraged.

Supporting "B" Natural Feature

The Planning Justification Report is silent on the site's proximity to a creek. Specifically, the property is adjacent to an intermittent watercourse, which is identified as a Supporting "B" Natural Feature in the Official Plan. As set out in Official Plan Policy 8.2.5(22), a guideline buffer width of 15 metres, applied to each side of the watercourse, is to be evaluated through an Environmental Impact Statement (EIS). Staff understands that through pre-submission discussions, the applicant was informed that a 15 metre buffer would be required and that an EIS would need to be submitted in order to reduce the width. Based on the Site Plan Sketch (A101), a variable buffer appears to be proposed. From what is assumed to be a 15 metre offset from the creek, most of the area is shown as open space, however, a small portion is roadway. In the area of the roadway, the buffer appears to be reduced to approximately 12 metres. In the absence of an EIS, a full 15 metre, no-touch buffer is preferred, however, given the minor variability, staff are willing to accept the buffer as currently proposed.

Through policies 8.2.5(24) and (25), the Official Plan sets out that buffers of Supporting "B" Natural Features are to remain in a primarily natural state or be restored to a primarily naturalized state if disturbed through historical land use or approved works. Further, permitted uses within buffers are to be limited to low impact uses, impervious surfaces and grading are not to be permitted, and plantings are to consist of native species that are ecologically appropriate and suitable for site conditions. While the Planning Justification Report notes that the side yard setback is proposed to be 14.4 metres, this is only proposed in conceptual terms, as a 3 metre side yard setback is proposed in the actual zoning regulations. In order to formally recognize the buffer lands, there should be a corresponding setback requirement from the creek that would prohibit buildings and imperious areas. Alternatively, the buffer lands could be placed in an open space zoning category. Under either zoning scenario, plantings and a living fence should be required to naturalize and demarcate the area. A detailed planting plan should be provided through the site plan process.

The Servicing Strategy Report notes that an open cut excavation is proposed for service installation. As per Official Plan policy 8.2.5(29), infrastructure is to avoid Supporting "B" Natural Features wherever feasible. Where it is not feasible, infrastructure is to be designed to maintain, or where feasible enhance, ecological functions. Confirmation is needed in terms of what process took place to identify and evaluate the options for installing services. If open cut excavation is the only feasible option, opportunities to enhance the ecological function of the creek should be sought and incorporated into the development.

Eastbridge District Plan

The subject lands are identified as a Potential Community Park on the concept map in the Eastbridge District Plan. If the application is supported, the Eastbridge District Plan should be amended.

Region of Waterloo

The Region has no objection to this application.

Grand River Conservation Authority

In principle, the Grand River Conservation Authority (GRCA) has no objection to the approval of this zone change application by the City of Waterloo. However, the applicants are advised that the GRCA will be reviewing the site plan application and will require detailed grading/servicing plans, erosion/sediment control plans, and final stormwater management report in support of this application. A permit from the GRCA will be required for any proposed works within GRCA regulated areas and any servicing crossings of the watercourse under Ontario Regulation 150/06.

Ministry of Natural Resources and Forestry

Suitable habitat for Barn Swallows and endangered bat species may be present on site if any buildings are still remaining. If suitable habitat is present, it is then recommended that targeted surveys for Barn Swallows and endangered bats be completed to confirm presence or absence.

Appendix 'B'

Minutes of the June 19, 2017 Meeting

- a) **Title:** **Zoning By-law Amendment Application Z-17-10, 2050 University Avenue East, Hospice of Waterloo Region**
Prepared By: Natalie Stopar

Correspondence: Nic and Rachelle Wright

The Chair advised that the Informal Public Meeting was the first opportunity to inform Council and the public of the application and emphasized that no decision would be made by Council at this meeting.

Natalie Stopar, Zoning/Committee Coordinator reviewed the application to amend the City's Zoning By-law No. 1418 by rezoning the lands from Agriculture (A) to a new Business Employment zone. This application is being advanced to allow for the redevelopment of the lands with a hospice, office, community uses, medical clinic, and program space for the Hospice of Waterloo Region.

Judy Nairn, Executive Director, Hospice of Waterloo Region, provided an overview of the principles of Hospice Palliative Care and the services provided to the community including the enhanced space, creation of new residential hospice beds, expansion of community programming for counselling, education and other programs.

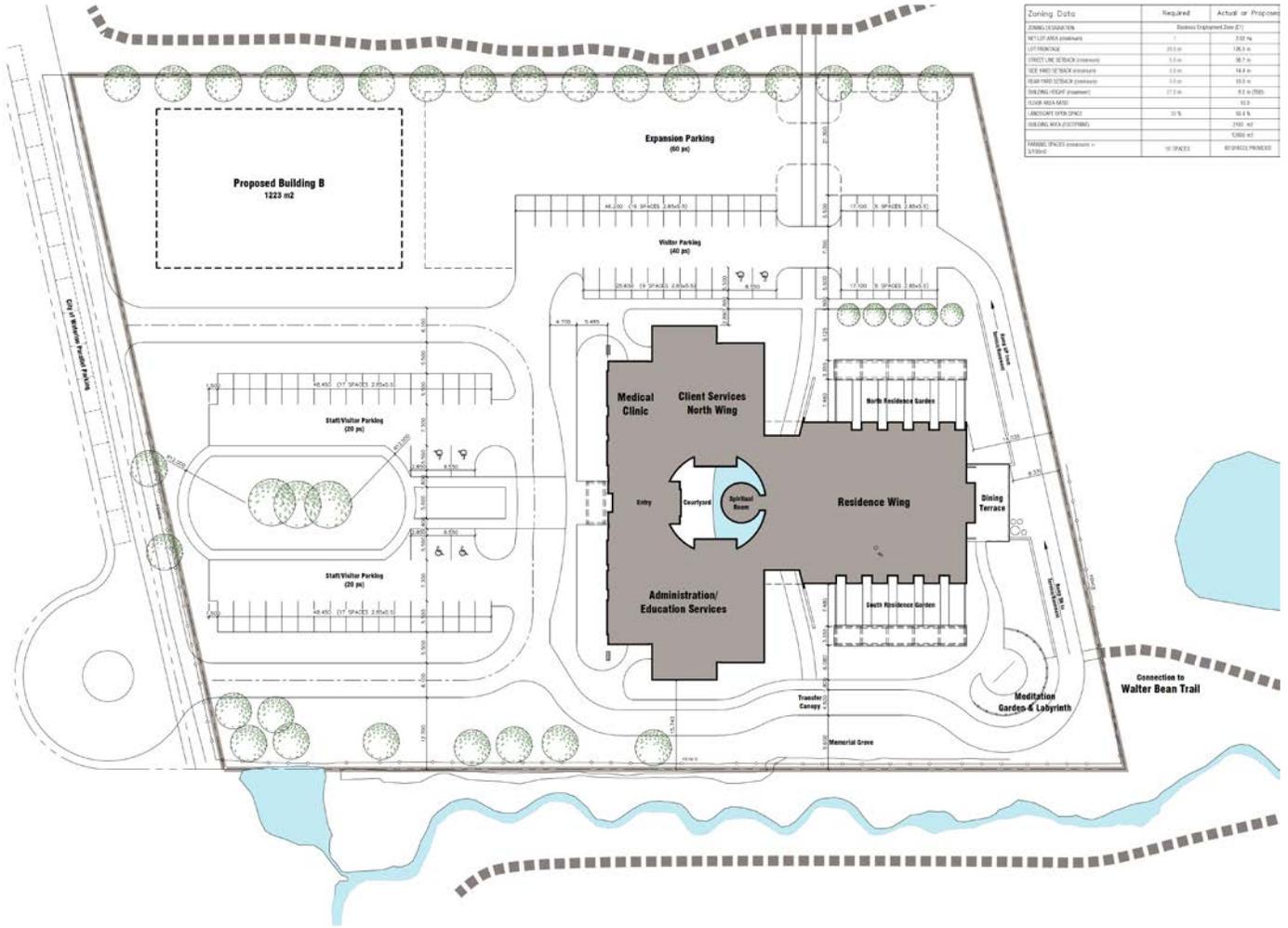
Sarah Code, Planner, GSP Group, on behalf of the applicant, provided an overview of the application including parking spaces and supporting studies relating to noise, traffic and servicing.

Richard Eddy requested clarification on the proposed setbacks for the site, size of the proposed building, parking spaces as well as noise and shadow studies.

As no one else was present to speak to the application, the Chair concluded the Informal Public Meeting and indicated that staff will review the issues and report back to Council at a later date.

Appendix 'C'

Concept Site Plan



Zoning Data	Required	Actual or Proposed
ZONING DESIGNATION	Business Employment Zone (B7)	
NET USE AREA (squares)	7	132 sq
LOT AREA (squares)	20.0 sq	138.8 sq
STREET LINE SETBACK (feet)	5.0 ft	50.7 ft
REAR YARD SETBACK (feet)	10.0 ft	144.4 ft
REAR YARD SETBACK (feet)	10.0 ft	188.4 ft
REAR YARD SETBACK (feet)	10.0 ft	188.4 ft
FLOOR AREA RATIO	10.0%	16.0%
LANDSCAPE OPEN SPACE	10.0%	16.4%
PERMITTED AREA (SQUARE FEET)	200 sq	1388 sq
PARKING SPACES (minimum)	10 SPACES	40 SPACES PROVIDED

Appendix 'D'

Proposed Employment One (E1) Zone

Section 38

38. Employment One (E1)

38.1 Permitted Uses

38.1.1 No person shall erect, alter, enlarge or use any building or structure in whole or in part nor use any lands in whole or in part within the Employment One (E1) zone for any purpose other than the following uses:

- Advanced Tech
- Business Incubator
- Communication Production
- Data Centre
- Government Use
- 'Light' Industrial Assembly related to Advanced Tech
- 'Light' Industrial Manufacturing related to Advanced Tech
- 'Light' Industrial Processing related to Advanced Tech
- Medical Clinic
- Office
- Printing Establishment
- Structured Parking Facility
- Tech Office
- Training Facility

38.1.2 The following uses shall be permitted as complementary uses:

- Makerspace (Class A)
- Repair And Servicing Operations related to Advanced Tech
- Warehouse related to Advanced Tech (no retail)

38.1.3 The following uses shall be permitted as ancillary uses, meaning said uses are subordinate and incidental to a permitted use specified in Section 38.1.1:

- Cafe
- Catering Establishment
- Child Care Centre
- Commercial Recreation
- Commercial School
- Commercial Service
- Commercial Wellness
- Financial Service
- Microbrewery

- Municipal Recreation Facility
- Nanobrewery
- Restaurant
- Take-Out Restaurant
- Transportation Service

38.1.4 The following regulations in Table 38A shall apply to every lot, building and structure in the Employment One (E1) zone:

Table 38A: Regulations – EMPLOYMENT ONE ZONE (E1)	
Lot Frontage (minimum)	20.0 metres
Front Yard setback (minimum)	5.0 metres
Flankage Yard setback (minimum)	5.0 metres
Side Yard setback (minimum)	3.0 metres
Rear Yard setback (minimum)	5.0 metres
Low Rise Residential Area setback (minimum)	7.5 metres or half the height of the building, whichever is greater
Building Height (maximum)	27 metres
Floor Area Ratio (minimum)	0.5
Landscaped Open Space (minimum)	20%
Parking Spaces (minimum)	3 parking spaces per 100 square metres of Building Floor Area
Complementary Uses (maximum)	Complementary uses specified in Section 38.1.2 collectively shall not exceed 25% of the Building Floor Area on the lot
Ancillary Uses (maximum)	Ancillary uses specified in Section 38.1.3 collectively shall not exceed 15% of the Building Floor Area on the lot
	The maximum Building Floor Area of each Ancillary Use shall not exceed 1,393 square metres
Ancillary Uses (location)	Ancillary uses specified in Section 38.1.3 shall be located on the first storey of a building containing one or more of the permitted uses specified in Section 38.1.1
	Ancillary uses specified in section 38.1.3 shall abut a streetline building façade

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Number of Buildings on a Lot (maximum)	More than one (1) main building permitted
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38.1.5 Notwithstanding anything to the contrary, a minimum of 4 parking spaces per 100 square metres of Building Floor Area shall be provided for:

- Bake Shop
- Cafe
- Restaurant
- Take-Out Restaurant

38.1.6 Outdoor Storage shall be prohibited in the Front Yard and Flankage Yard.

38.1.7 For the purposes of Section 38, the following terms shall have the corresponding meaning:

Advanced Tech means an establishment specializing in the research, development, and or creation of products (software and hardware), services, systems, processes, and or prototyping related to one or more of the following technology sectors:

- Aerospace
- Artificial Intelligence
- Biotechnology
- Computer Engineering
- Computer Science, including software
- Data Centre
- Electronic Device Technology
- Energy Technology
- Financial Technology
- Information Technology
- Medical Technology
- Nanotechnology
- Photonics
- Quantum Computing / Technology
- Robotics
- Semiconductors
- Telecommunications

Advanced Tech includes software companies, open data companies, digital content companies, wireless technology companies, advanced technology hardware companies, cyber security companies, cloud computing companies, and 3D printing companies.

Business Incubator means an establishment that is dedicated to nurturing the development and commercialization of startups, early-stage companies, and established companies (enterprises) by providing incubator services such as management training,

networking facilities, programming, mentorship programs, business assistance services, and office space.

Communication Production means a building or part thereof used as a studio for the production of multi-media including radio, music, television, motion pictures, and video streaming.

Government Use means a Municipal, Regional, Provincial, or Federal government use and or building. Includes a community centre, fire station, police station, ambulance station, government office, and library.

'Light' Industrial Assembly means an industrial production operation that requires specialized machinery, equipment and or expertise to substantially put together (build) a finished good from individual components or parts, primarily on a large scale by hand or machinery. The majority of the finished goods are distributed off-site to persons or parties other than the end consumer. The assembly or installation of minor components, small parts, or accessories that require minimal expertise or equipment or which are incidental to a finished good that is to be sold on-site shall not be considered an Industrial Assembly operation. May include an ancillary office to administer the Industrial Assembly use.

'Light' Industrial Manufacturing means an industrial production operation in which raw materials are transformed or fabricated into finished goods, components, or parts on a large scale by hand or machinery. The majority of the finished goods are distributed off-site to persons or parties other than the end consumer. Includes an ancillary office to administer the Industrial Manufacturing use. Excludes pharmaceutical industries and food and beverage manufacturing industries.

'Light' Industrial Processing means an industrial process, in which a systematic series of mechanical or chemical operations result in the production of a finished good, primarily in bulk quantities. May include an ancillary office to administer the Industrial Processing use. Excludes pharmaceutical industries and food and beverage manufacturing industries.

Light in reference to:

- Industrial Manufacturing
- Industrial Assembly
- Industrial Processing

means an industrial use which:

- a.) is wholly enclosed within a building, except for parking spaces and loading spaces; and
- b.) in its operation does not ordinarily result in emissions from the building of odours, fumes, noise, cinder (including smoke, soot, ash), dust, vibrations, heat, glare (lighting), or electrical interference,

where the finished goods are typically designed for the end consumer rather than other industries, such as consumer electronics and clothing manufacturing.

Tech Office means an Office specializing in:

- augmented reality
- cloud computing
- coding
- computer engineering
- computer science
- cyber security
- data centres
- development and application of software
- digital and content media
- digital health and biometrics
- digital imaging
- e-commerce
- encryption
- information technologies, including analytics
- nanotechnology
- open data
- operating systems
- quantum computing and science
- virtual reality

Includes incidental prototyping and assembly of related advanced technology hardware and products, to a maximum twenty-five percent (25%) of the Building Floor Area.

Training Facility means a commercial service establishment where instruction is provided for employment-related skills required to:

- a.) fulfill the training requirements of a profession;
- b.) improve job performance; and or
- c.) enhance career development.

Training Facilities do not operate in accordance with the requirements of the *Education Act, R.S.O. 1990, c.E.2* as amended.

Makerspace means a community workshop or community studio that is dedicated to nurturing creativity, collaboration and hands-on learning through the provision of shared do-it-yourself space where like-minded individuals can gather and interact to:

- create (make, build), invent, tinker, explore, learn; and,
- share ideas, resources (tools, materials), knowledge, and skillsets. [existing]

Makerspace, Class A

means Makerspace where patrons:

a.) have access to low-impact tools and technology such as:

- 3D printers
- arts and crafts equipment (such as easels, sewing machines)
- computers
- electronics, such as audio and visual devices
- hand tools
- microcontrollers for prototyping, digital devices, and interactive objects
- mixed media
- robotics
- software
- vinyl cutting equipment

- and or -

b.) can learn and develop low-impact skills such as:

- coding
- cooking
- gaming
- painting
- sculpting and woodcarving using hand tools
- sewing and knitting

Makerspace, Class B

means Makerspace where patrons:

a.) have access to tools and technology with the potential for high-impact, such as:

- laser and plasma cutters
- milling machines
- computer numerical control equipment (such as CNC routers)
- welding and soldering equipment
- lathes
- forges and blacksmithing equipment
- bio-laboratories

- and or -

b.) involving one or more of the following processes:

- metalworking (excluding craft jewellery)
- woodworking (excluding woodcarving using hand tools)
- manufacturing
- Industrial Assembly (excluding prototype assembly)

Café means a commercial establishment with fifteen (15) or less seats that primarily serves beverages that are non-alcoholic to the general public, and may include ancillary retailing of prepared light snack foods such as pastries, muffins, desserts, fruit, yogurt, confectionery items, and baked goods. Excludes restaurant.

Commercial Recreation means a commercial establishment specializing in recreational activities such as martial arts, racquet sports, bowling, ping-pong, billiards, mini golf, dance studios, indoor sport simulators, board games, electronic gaming centres, and any other similar recreational or sporting activity. Excludes dance halls, bingo halls, auditorium, banquet hall, casino, adult entertainment parlours.

Commercial Service means a commercial establishment that primarily serves businesses by providing services that support the operations of the business, such as:

- delivery service
- copy centre
- printing facility
- data centre
- call centre
- document shredding
- post office

Excludes Retail Store and Personal Service Shop.

Commercial Wellness means a commercial establishment whose purpose is to refresh the mind and body through relaxation and or fitness activities such as a health spa, fitness centre, registered massage therapist establishment, and any other similar physical or health / wellness activity. Excludes Commercial Recreation.

Financial Service means a bank, financial trust company, and credit union. Excludes a payday loan store.

Microbrewery means a building or part thereof used for the small-scale production of beverages including beer, wine, cider, and spirits.

Nanobrewery means a building or part thereof used for the small-scale production of beer, wine, cider, and or spirits in conjunction with and ancillary to a restaurant.